



QUARMBY | CONSTRUCTION

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**THE BUILDING
MANUAL**

**WAKEFIELD
WATERFRONT
FAULKNER
BROWN**

BUILDING 20

HEBBLE WHARF

**HEBBLE WHARF
APARTMENTS**

**WAKEFIELD
WATERFRONT
HEALTH & SAFETY
FILE**

(COPY)

**1864 - Wakefield Waterfront - Maintenance Philosophy - Revision A
Buildings 18, 19 and 20**

Building 18

Cleaning of external windows/curtain walling - Reach and wash system generally. Cleaning of the glazing behind the sunshades to the main entrance will require the use of a platform lift or small scaffold with a jet wash between the sunshade blades with water and soap to remove any grime. Any excess water can be removed with the use of an extendable squeegee. Access onto the flat roof to clean windows above pavilion.

Cleaning of louvers - Reach and wash system.

Access to gutters, outlets etc - Cherry picker will be required to main roof. For flat roof over pavilion there is an openable side hung window allowing access onto the flat roof with mansafe provision. Lanyard length should be restricted to prevent fall from roof.

Bin store - will require regular wash down and drainage connections should also be checked regularly to prevent blockages and drainage seals from drying out.

High level lighting in main entrance - LED low maintenance fittings have been installed but when required a scaffold should be erected to gain access.

Roof slates - If requiring replacement should be accessed via cherry picker. Suggest replacement by specialist subcontractor.

Building 19

Cleaning of external windows/curtain walling - Reach and wash system generally but a cherry picker will be required for high level windows. Cleaning of the glazing behind the sunshades to the south elevation will require the use of a platform lift or small scaffold with a jet wash between the sunshade blades with water and soap to remove any grime. Any excess water can be removed with the use of an extendable squeegee.

Cleaning of louvers - Reach and wash system.

Access to gutters, outlets etc - Access onto roof through plant room, with mansafe system provided to allow access to full roof are for cleaning gutters to flat roof. Ladder onto plantroom

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roof also with mansafe access. Lanyard length should be restricted to all areas to prevent fall from roof. Additional roof hatch above escape stair for use in case of emergency escape from roof.

Bin store - will require regular wash down and drainage connections should also be checked regularly to prevent blockages and drainage seals from drying out.

Terracotta tile replacement - Cherry picker or scaffold will be required to replace broken tiles. Suggest replacement by specialist subcontractor.

Terracotta Baguette and glazing behind - Access platform provided behind baguettes and access from floor plan onto platform through opening in glazing.

Building 20

Cleaning of external windows/curtain walling - A mixture of a reach and wash system and cherry picker will be required. A banksman will be required for cherry picker manoeuvres near to water. For the Level 4 glazing access is required onto the balcony through an apartment - access around the balcony can be achieved by the use of a key to unlock the balcony dividers if required. Lower level balconies will also require access via apartment.

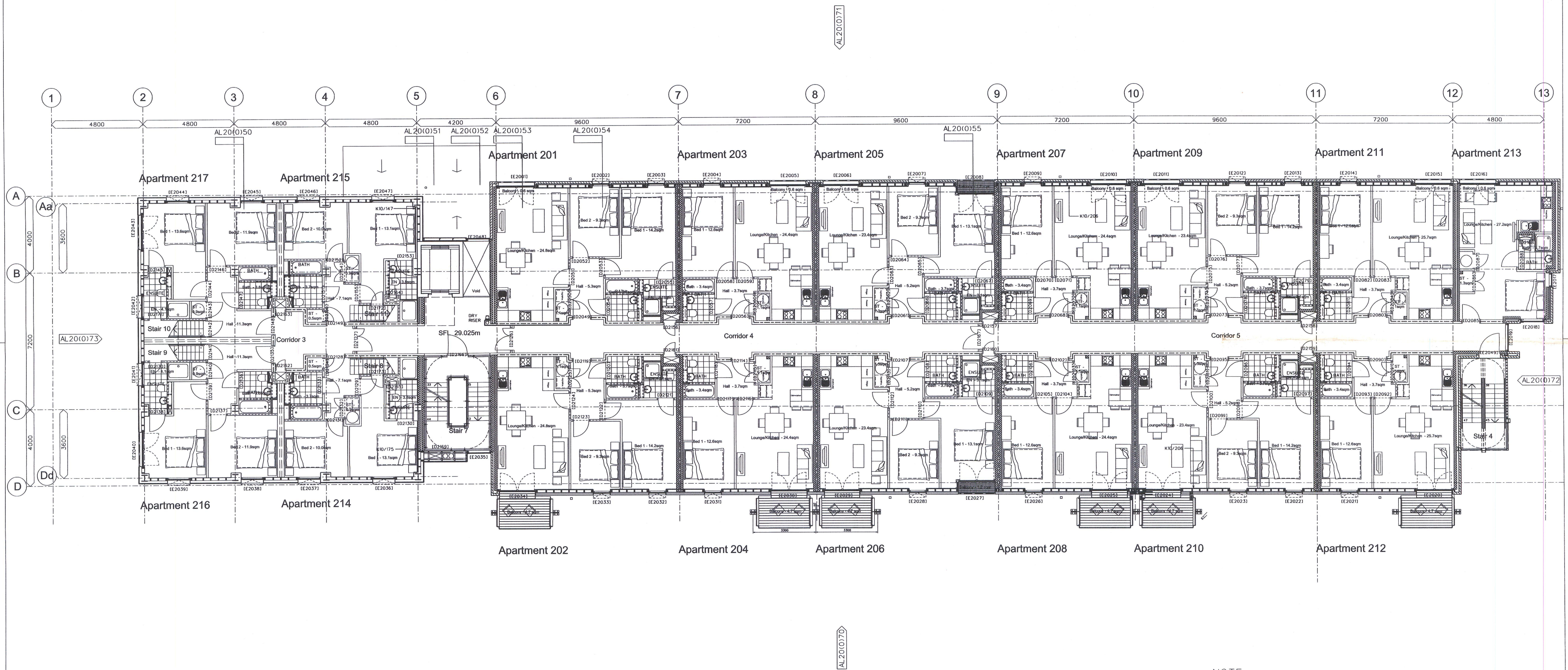
Access to gutters, outlets etc - Roof access via hatch off top floor lobby. Mansafe provision to roof to allow full access to all gutters. Ladders onto lift roof also with mansafe access. Lanyard length should be restricted to all areas to prevent fall from roof. Outlets to level 4 decking to be accessed by lifting removable decking panel locally to outlet. Outlets to be checked annually by management company.

Bin stores - will require regular wash down and drainage connections should also be checked regularly to prevent blockages and drainage seals from drying out. Movement of bins from basement up ramps to external level to be aided by power puller located in basement car park.

High level lighting in void space next to lifts - LED low maintenance fittings have been installed but when required a scaffold should be erected to gain access.

Cleaning of glazed balconies - Externally as window cleaning strategy, internally to be cleaned by occupants (Juliet/external balconies from within apartment, level 4 balconies from level 4 terrace).

Replacement of glazing to glazed balconies - Juliet/external balconies will require platform lift access. Level 4 balconies will require access through apartment and edge protection during repair.



NOTE:

1. FOR GENERAL PARTITION SPECIFICATION AND SETTING OUT SEE AL20(2) SERIES DRAWINGS.
2. FOR FINISHES SEE AL20(4) SERIES DRAWINGS.

Rev	Date	Drawn	Checked	Rev	Date	Drawn	Checked	Rev	Date	Drawn	Checked	Rev	Date	Drawn	Checked	Rev	Date	Drawn	Checked
02.09.05				13.06.06		AB	RW	18.02.08				06.06.08				08.09.08			
A	01.11.05		RW BS	16.06.06				M	18.02.08			N	06.06.08			P	08.09.08		
	01.11.05			19.01.07			NBr RW												
B	20.03.06			26.01.07			RW												
				23.04.07			RW												
				21.05.07			NE RW												
				11.06.07			NBr RW												
				04.07.07			NBr RW												
				15.10.07			JD RW												
				01.11.07			RW NBr												
C	05.06.06		KB RW																
	07.06.06																		

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AS BUILT

Job No. 1864
Drawing No. AL20(0) 200
Rev P

Job Title WAKEFIELD WATERFRONT PHASE 1A

Drawing Title RESIDENTIAL BLOCK 20 - LEVEL 2

Date 16.06.06 Scale 1:100@A1 Drawn AB Checked RW

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* Faulkner Browns Architects
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NOTE:

1. FOR GENERAL PARTITION SPECIFICATION AND SETTING OUT SEE AL20(2) SERIES DRAWINGS.

2. FOR FINISHES SEE AL20(4) SERIES DRAWINGS.

Rev	Date	Drawn	Checked
02.09.05	ISSUED FOR PLANNING		
A	01.11.05	GLAZING TO EAST ELEVATION OF STUDIOS ADDED	RW BS
B	20.03.06	DOOR NIBS INCLUDED, UPDATE OF SANITARYWARE, KITCHEN RECONFIGURED, BALCONY LAYOUT/ LAYOUT UPDATED, HOME OFFICE LAYOUT CONSIDERED, WASHER DRYER/ WATER TANK CONFIGURATION CHANGED, EXTERNAL ESCAPE STAIR LAYOUT CHANGED, INCLUSION OF FD20 DOOR TO STAIR OF DUPLEX APARTMENT	AB RW
C	05.06.06	BATHROOMS UPDATED, KITCHENS UPDATED, CURTAIN WALL ADDED IN RESTAURANT, STAIRS UPDATED, SECTION AND DETAIL REFERENCES ADDED.	KB RW
07.06.06	ISSUED FOR TENDER		

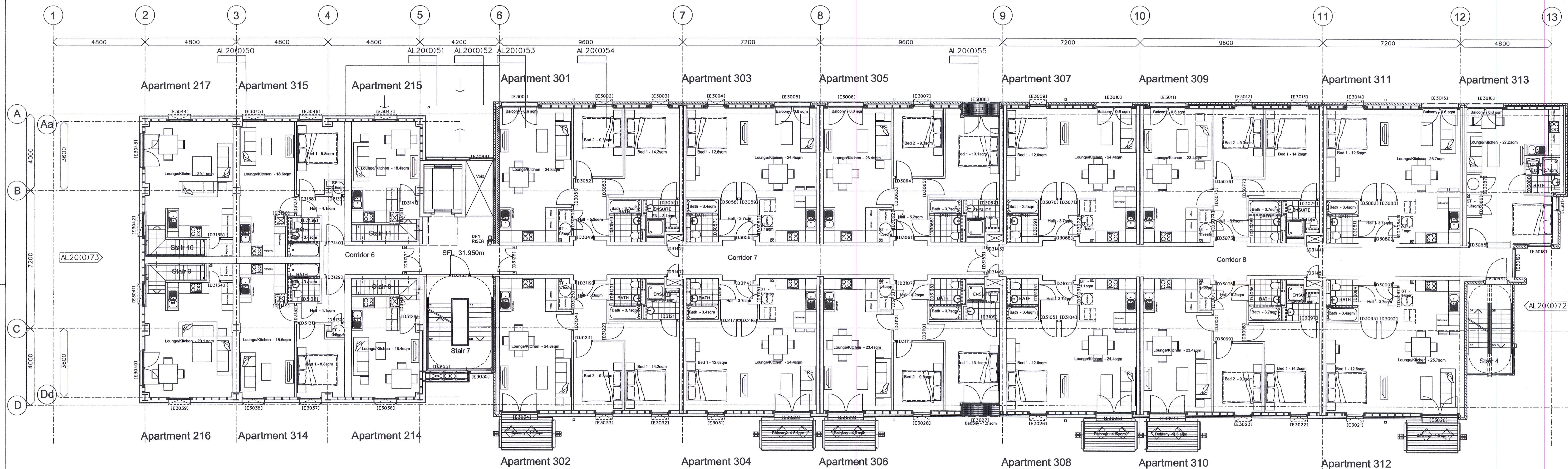
Rev	Date	Drawn	Checked
D	13.06.06	MAIN AL SECTION REFERENCES CORRECTED TO (O) NOT (1)	
E	19.01.07	GENERAL NOTE & UNDER STAIRS DOORS ADDED, GRIDS ONLY RELEVANT TO LEVEL 4 OMITTED.	Nbr RW
F	23.04.07	DOOR NUMBERS ADDED TO UNDER STAIRS DOORS.	Nbr RW
G	21.05.07	RWP POSITION AMENDED, BRICKWORK UPDATED TO SUIT INCREASED CAVITY SIZE.	Nbr RW
H	11.06.07	OPENINGS AND VEFAC DOUBLE DOOR SIZES REVISED.	Nbr RW
J	04.07.07	DOOR SWINGS AND LOCATIONS UPDATED TO MAIN STAIR AND ESCAPE STAIR.	Nbr RW
K	15.10.07	DRY RISER INDICATED ON GRID LINE 6	Nbr RW
L	01.11.07	DRY RISER MOVED TO GRID LINE 5	Nbr RW

Rev	Date	Drawn	Checked
M	16.02.08	WATER CYLINDER MOVED AND CUPBOARD ENLARGED TO APARTMENT 214/215.	
N	06.06.08	DRY RISER LOCATION REVISED, CHANGED TO EXPOSED VALVE.	
P	08.09.08	AS BUILT ISSUE	

Rev	Date	Drawn	Checked
AS BUILT			
Job Title	WAKEFIELD WATERFRONT PHASE 1A		
Drawing Title	RESIDENTIAL BLOCK 20 - LEVEL 2		
Date	16.06.06	Scale	1:100@A1
Drawn	AB	Checked	RW

Job No. 1864
Drawing No. AL20(0) 200
Drawing Status AS BUILT
Job Title WAKEFIELD WATERFRONT PHASE 1A
Drawing Title RESIDENTIAL BLOCK 20 - LEVEL 2
Date 16.06.06
Scale 1:100@A1
Drawn AB
Checked RW

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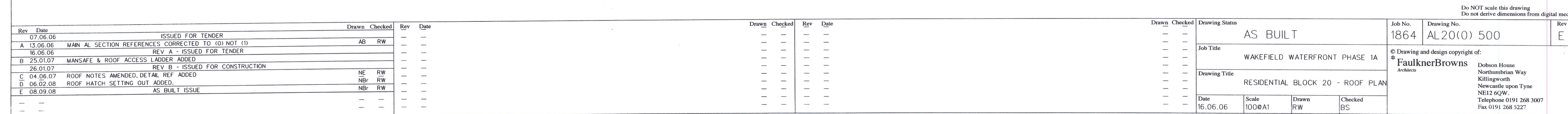


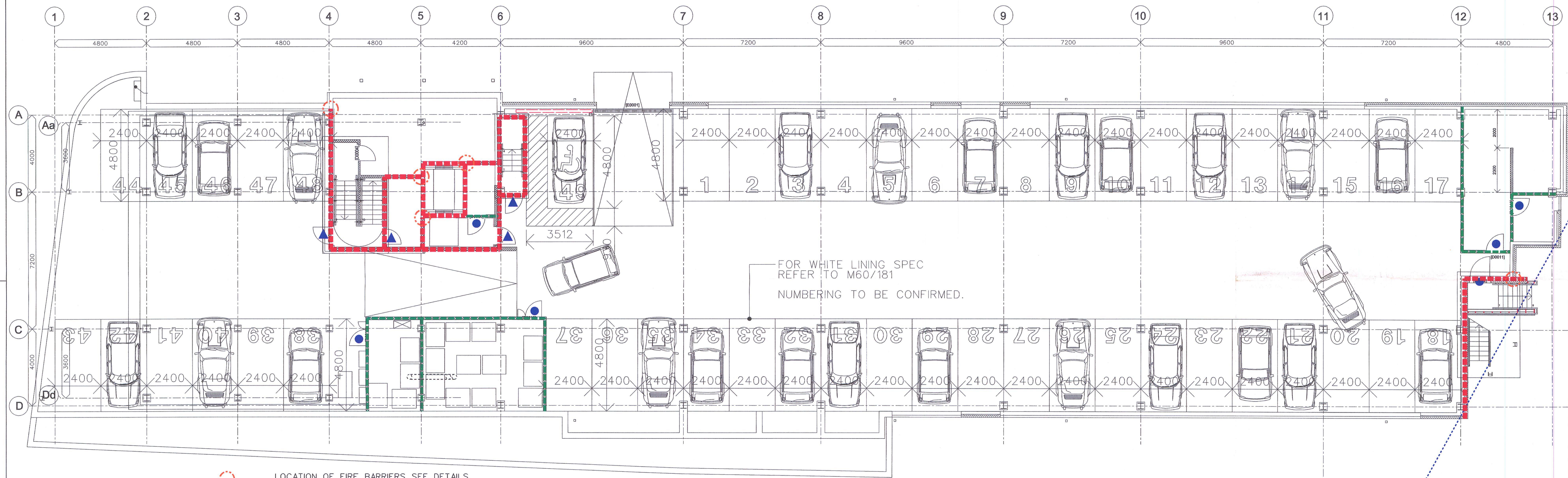
NOTE:

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2. FOR FINISHES SEE AL20(4) SERIES DRAWINGS.

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02.09.05				D	13.06.06			L	08.09.08							AS BUILT	1864	AL20(0) 300	L
A	01.11.05	GLAZING TO EAST ELEVATION OF STUDIOS ADDED	RW BS	D	16.06.06														
	01.11.05	ISSUED FOR PLANNING		E	19.01.07														
B	20.03.06	DOOR NIBS INCLUDED, UPDATE OF SANITARYWARE, KITCHEN RECONFIGURED, BALCONY LAYOUT/ LAYOUT UPDATED, HOME OFFICE LAYOUT CONSIDERED, WASHER DRYER/ WATER TANK CONFIGURATION CHANGED, EXTERNAL ESCAPE STAIR LAYOUT CHANGED, INCLUSION OF FD20 DOOR TO STAIR OF DUPLEX APARTMENT	AB RW	F	21.05.07														
	20.03.06	REV B-ISSUED FOR COSTING		G	11.06.07														
C	05.06.06	BATHROOMS UPDATED, KITCHENS UPDATED, CURTAIN WALL ADDED IN RESTAURANT, STAIRS UPDATED, SECTION AND DETAIL REFERENCES ADDED.	KB RW	H	04.07.07														
	07.06.06	ISSUED FOR TENDER		J	15.10.07														
				K	01.11.07														
				GENERAL NOTE ADDED. GRIDS ONLY RELEVANT TO LEVEL 4 OMITTED.				AS BUILT ISSUE								Job Title			
				REV D - ISSUED FOR TENDER												WAKEFIELD WATERFRONT PHASE 1A			
				GENERAL NOTE ADDED. GRIDS ONLY RELEVANT TO LEVEL 4 OMITTED.												Drawing Title			
				REV E - ISSUED FOR CONSTRUCTION												RESIDENTIAL BLOCK 20 - LEVEL 3			
				GENERAL NOTE ADDED. GRIDS ONLY RELEVANT TO LEVEL 4 OMITTED.												Date			
				BRICKWORK UPDATED TO SUIT INCREASED CAVITY SIZE.												16.06.06			
				OPENINGS AND VELFAC DOUBLE DOOR SIZES REVISED.												Scale			
				DOOR SWINGS AND LOCATIONS UPDATED TO MAIN STAIR AND ESCAPE STAIR.												1:100@A1			
				DRY RISER INDICATED ON GRID LINE 6												Drawn			
				DRY RISER MOVED TO GRID LINE 5												AB			
																Checked			
																RW			





- - - - - LOCATION OF FIRE BARRIERS, SEE DETAILS AA20(2)28, 31, 46, 47, 48, 49 AND AA20(22)20
- - - - - 60MIN FIRE RATED CONSTRUCTION
- - - - - 30MIN FIRE RATED CONSTRUCTION
- ▲ FD30S - 30MIN RATED FIRE DOOR WITH SELF CLOSER AND SMOKE SEAL.
- △ FD60S - 60MIN RATED PROPRIETARY PLASTERBOARD ACCESS PANEL WITH SMOKE SEAL. TO BE KEPT LOCKED.
- FD30 - 30MIN RATED HINGED ACCESS PANEL, TO BE KEPT LOCKED. NO SMOKE SEAL.
- FD30 - 30MIN RATED FIRE DOOR, NO SMOKE SEAL. THESE DOORS MAY NOT REQUIRE SELF CLOSERS, AS ADVISED IN THE NEW PART B OF THE BUILDING REGULATIONS. TO BE CONFIRMED BY BUILDING CONTROL.

FIRE DETECTION AND ALARM:

ALL APARTMENTS TO BE PROVIDED WITH A MAINS POWERED DETECTION / ALARM SYSTEM IN ACCORDANCE WITH BS5839: PART 6 TYPE LD3 CONSISTING OF SMOKE DETECTORS IN ALL CIRCULATION SPACES (INTERLINKED WITHIN THE APARTMENT). THE OPERATION OF ONE DETECTOR WILL CAUSE ONLY DETECTORS WITHIN THAT APARTMENT TO GO INTO ALARM.

THE DUPLEX APARTMENTS ARE TO BE PROVIDED WITH A MAINS POWERED DETECTION / ALARM SYSTEM IN ACCORDANCE WITH BS5839: PART 6 TYPE LD1 CONSISTING OF SMOKE DETECTION IN ALL AREAS OF THE APARTMENT. THE DETECTORS SHOULD BE INTER-LINKED WITHIN THE APARTMENT AND THE OPERATION OF ONE DETECTOR WILL CAUSE ALL THE DETECTORS WITHIN THE DUPLEX TO GO INTO ALARM.

THE RESTAURANT/COMMERCIAL AREA AND UNDERCROFT CAR PARK WILL BE PROVIDED WITH A CATEGORY M SYSTEM IN ACCORDANCE WITH BS5839: PART 1. THERE WILL BE NO INTERCONNECTION BETWEEN THESE AREAS AND THE RESIDENTIAL. HOWEVER THEY WILL BE LINKED TO EACH OTHER TO ALLOW FOR SIMULTANEOUS EVACUATION OF THESE AREAS.

FOR DETAILED LAYOUTS OF FIRE DETECTION AND ALARM EQUIPMENT REFER TO THE RELEVANT EDCM DRAWINGS.

EMERGENCY LIGHTING AND EXIT SIGNAGE:

EMERGENCY LIGHTING AND EXIT SIGNAGE WILL BE PROVIDED IN ALL ESCAPE ROUTES AND COMMON CIRCULATION AREAS IN ACCORDANCE WITH BS5266 PART 1: 1988 AND BS5499: PART 1 RESPECTIVELY.

FOR DETAILED LAYOUTS OF EMERGENCY LIGHTING AND EXIT SIGNAGE REFER TO THE RELEVANT EDCM DRAWINGS.

FOR MORE DETAILED INFORMATION REGARDING THE FIRE STRATEGY REFER TO ARUPFIRE'S FIRE SAFETY STRATEGY REPORT.

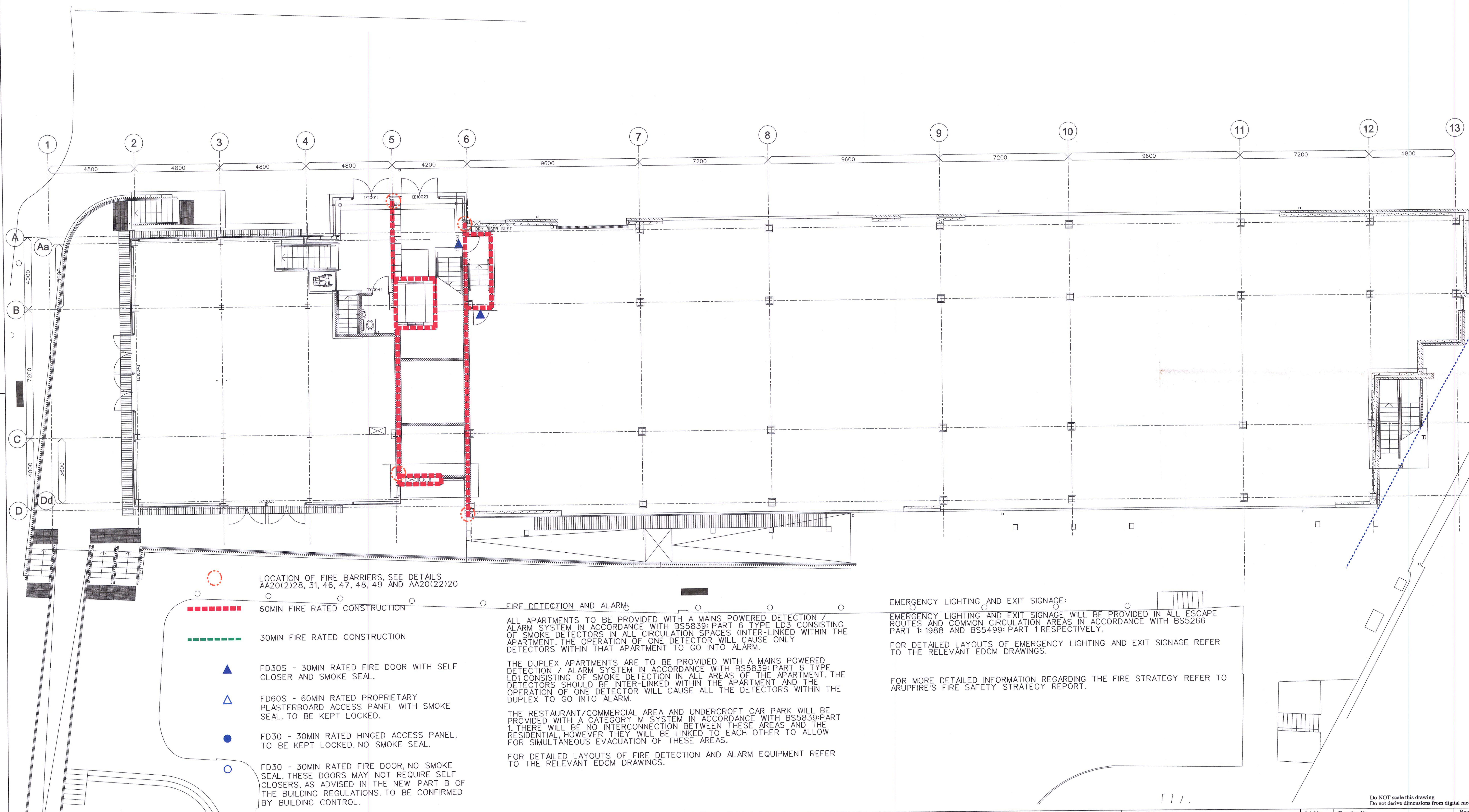
Rev	Date	Drawn	Checked	Rev	Date
24.04.07	FIRST ISSUE	NBr	RW		
A 26.04.07	60MIN FIRE RATED CONSTRUCTION SHOWN ADJACENT TO CENTRAL STAIR AND ESCAPE STAIR. AFTER CONSULTATION WITH ARUPFIRE, DOOR FROM CENTRAL STAIR REQUIRED TO BE FD30S.	NBr	RW		
B 17.06.07	CAVITY BARRIER LOCATIONS INDICATED	JD	NBr		
C 08.09.08	AS BUILT ISSUE	NBr	RW		

Drawn	Checked	Rev	Date

Drawn	Checked	Rev	Date

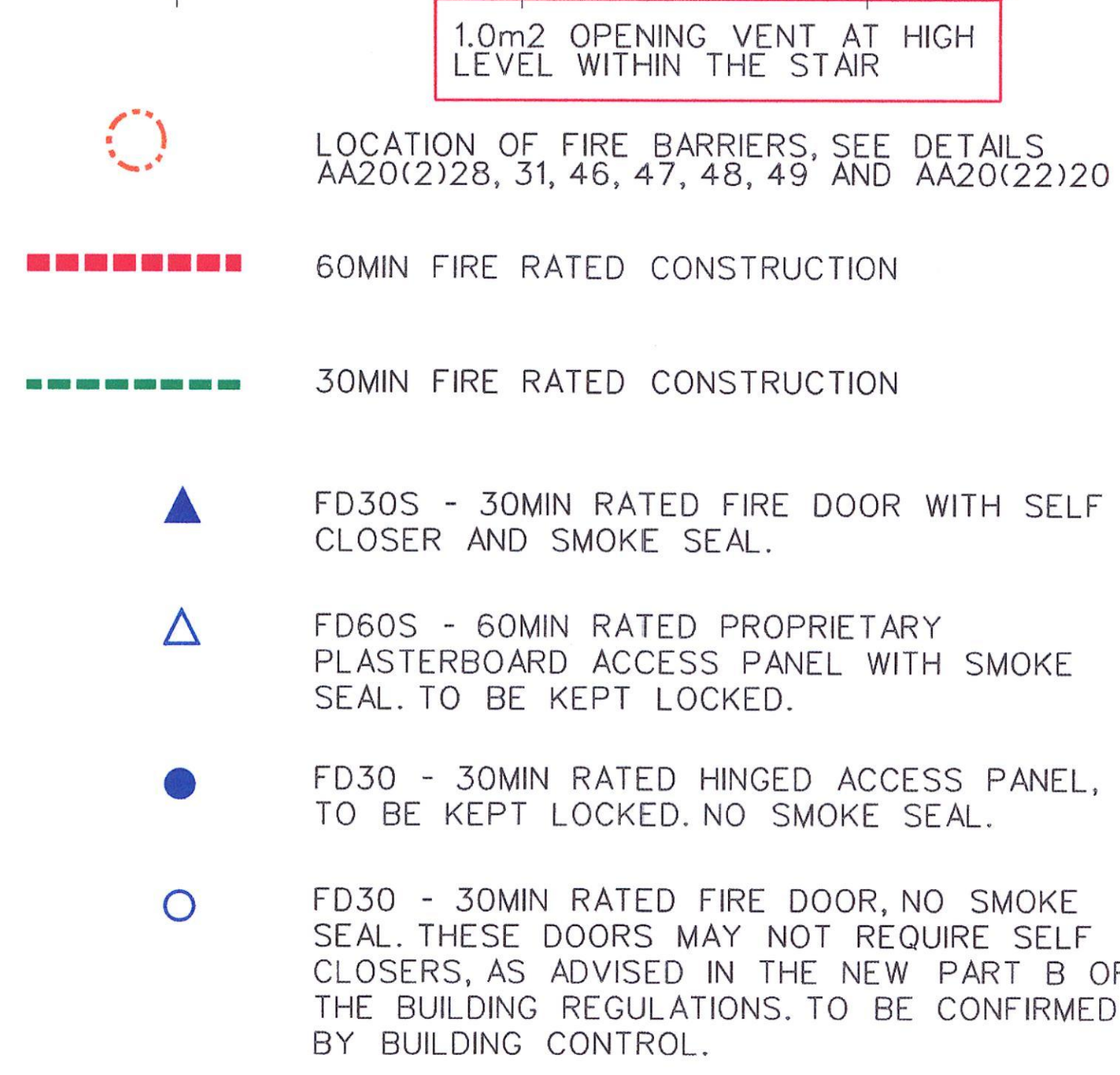
Drawing Status	Job No.	Drawing No.	Rev
AS BUILT	1864	AL20(68) 010	C
Job Title	© Drawing and design copyright of: * Faulkner Browns Architects		
WAKEFIELD WATERFRONT PHASE 1A	Dobson House Northumbrian Way Killingworth Newcastle upon Tyne NE12 6QW. Telephone 0191 268 3007 Fax 0191 268 5227		
Drawing Title	RESIDENTIAL BLOCK 20 SEMI-BASEMENT FIRE STRATEGY		
Date	Scale	Drawn	Checked
24.04.07	1:2000A3	NBr	RW

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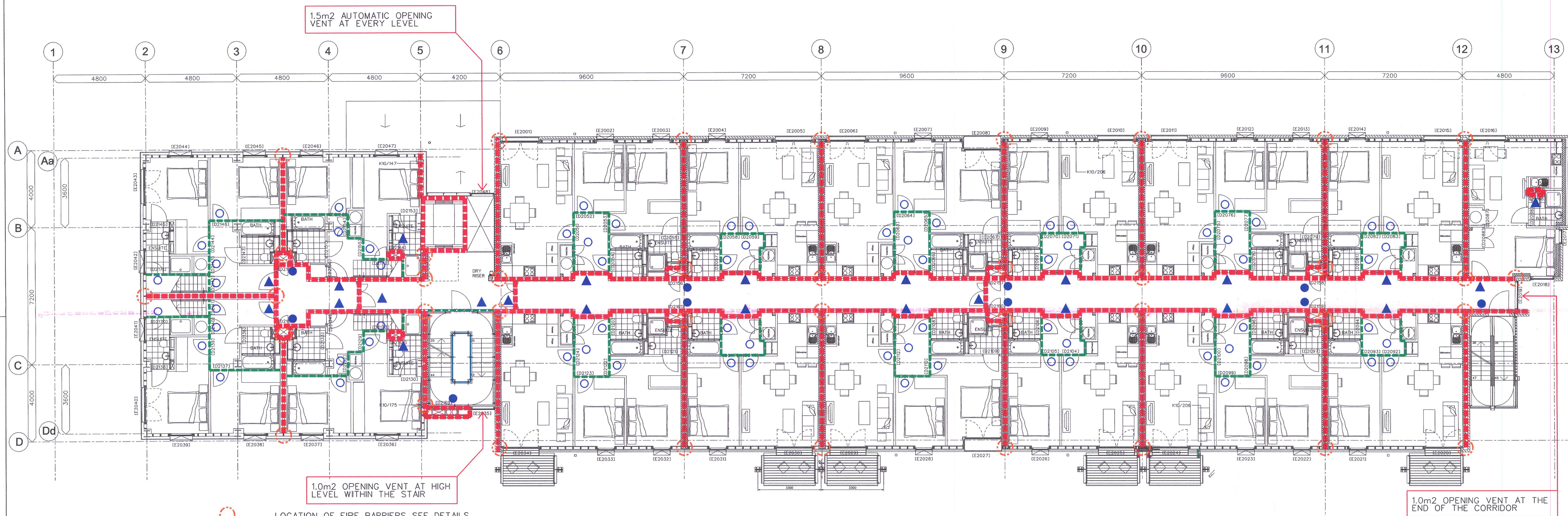


FOR DETAILED LAYOUTS OF FIRE DETECTION AND ALARM EQUIPMENT REFER TO THE RELEVANT EDCM DRAWINGS.

FOR MORE DETAILED INFORMATION REGARDING THE FIRE STRATEGY REFER TO ARUPFIRE'S FIRE SAFETY STRATEGY REPORT.

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Job Title						© Drawing and design copyright of: FaulkerBrowns <i>Architects</i> Dobson House Northumbrian Way Killingsworth Newcastle upon Tyne NE12 6QW. Telephone 0191 268 3007 Fax 0191 268 5227			
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LOCATION OF FIRE BARRIERS, SEE DETAILS AA20(2)28, 31, 46, 47, 48, 49 AND AA20(22)20

60MIN FIRE RATED CONSTRUCTION

30MIN FIRE RATED CONSTRUCTION

FD30S - 30MIN RATED FIRE DOOR WITH SELF CLOSER AND SMOKE SEAL.

FD60S - 60MIN RATED PROPRIETARY PLASTERBOARD ACCESS PANEL WITH SMOKE SEAL, TO BE KEPT LOCKED.

FD30 - 30MIN RATED HINGED ACCESS PANEL, TO BE KEPT LOCKED, NO SMOKE SEAL.

FD30 - 30MIN RATED FIRE DOOR, NO SMOKE SEAL. THESE DOORS MAY NOT REQUIRE SELF CLOSERS, AS ADVISED IN THE NEW PART B OF THE BUILDING REGULATIONS, TO BE CONFIRMED BY BUILDING CONTROL.

FIRE DETECTION AND ALARM:

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THE RESTAURANT/COMMERCIAL AREA AND UNDERCROFT CAR PARK WILL BE PROVIDED WITH A CATEGORY M SYSTEM IN ACCORDANCE WITH BS5839: PART 1 THERE WILL BE NO INTERCONNECTION BETWEEN THESE AREAS AND THE RESIDENTIAL HOWEVER THEY WILL BE LINKED TO EACH OTHER TO ALLOW FOR SIMULTANEOUS EVACUATION OF THESE AREAS.

FOR DETAILED LAYOUTS OF FIRE DETECTION AND ALARM EQUIPMENT REFER TO THE RELEVANT EDCM DRAWINGS.

EMERGENCY LIGHTING AND EXIT SIGNAGE:

EMERGENCY LIGHTING AND EXIT SIGNAGE WILL BE PROVIDED IN ALL ESCAPE ROUTES AND COMMON CIRCULATION AREAS IN ACCORDANCE WITH BS5266 PART 1: 1988 AND BS5499: PART 1 RESPECTIVELY.

FOR DETAILED LAYOUTS OF EMERGENCY LIGHTING AND EXIT SIGNAGE REFER TO THE RELEVANT EDCM DRAWINGS.

FOR MORE DETAILED INFORMATION REGARDING THE FIRE STRATEGY REFER TO ARUPFIRE'S FIRE SAFETY STRATEGY REPORT.

Rev	Date	Drawn	Checked	Rev	Date
A	24.04.07	NBR	RW		
B	16.08.07	NBR	RW		
C	14.05.07	NBR	RW		
D	01.10.07	NBR	RW		
	08.09.08	NBR	RW		

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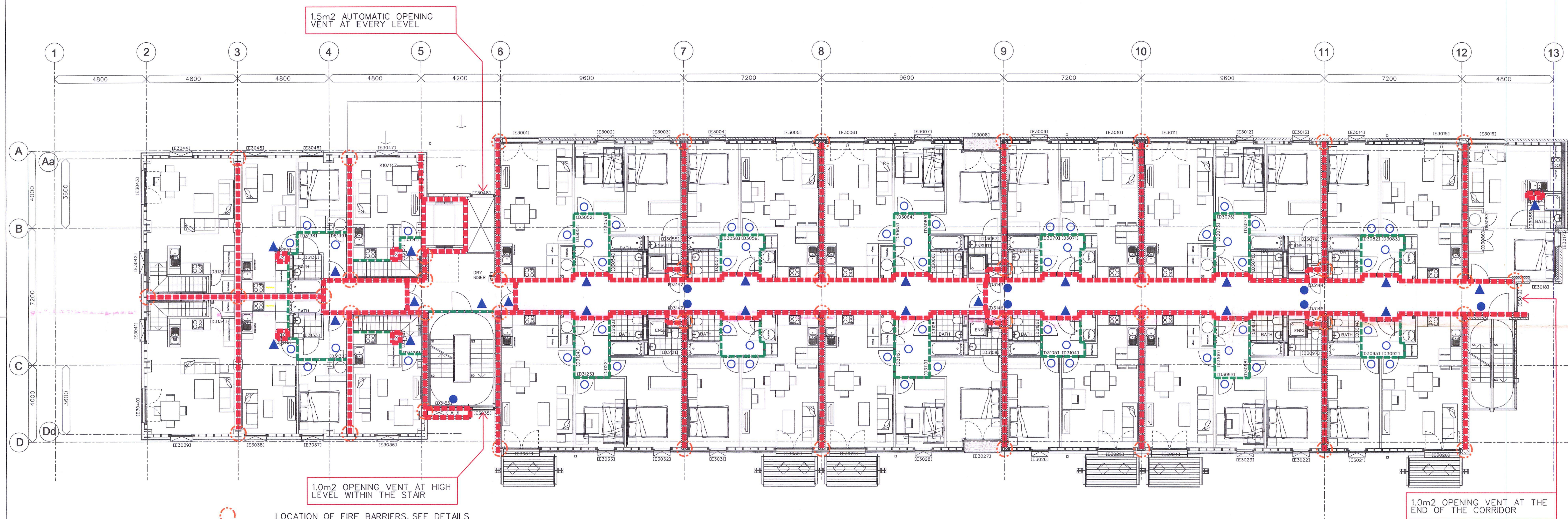
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FIRE DETECTION AND ALARM:

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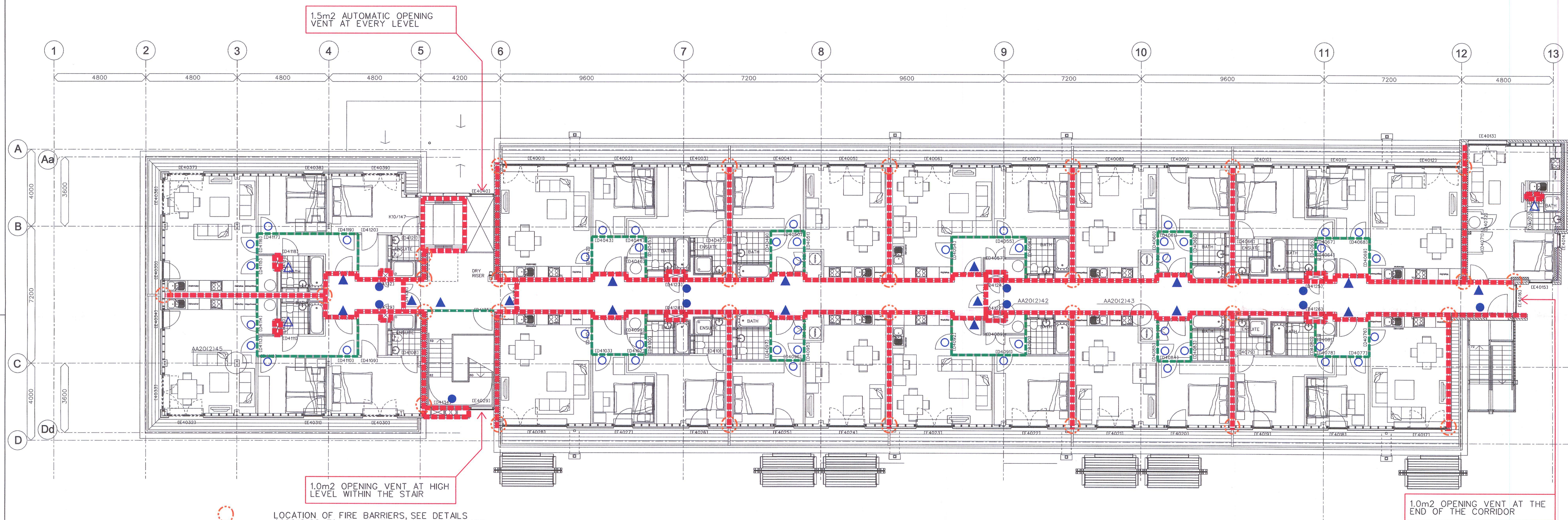
Rev	Date	Drawn	Checked	Rev	Date
24.04.07	FIRST ISSUE	NBR	RW		
A 16.08.07	CAVITY BARRIER LOCATIONS INDICATED, LINE OF 30MIN WALL CONSTRUCTION ALTERED TO RUN JOINT TO FRONT OF BATHROOMS	NBR	RW		
B 14.09.07	FIRE RATED WALL OMITTED FROM CYLINDER CUPBOARDS	NBR	RW		
C 01.10.07	SMOKE VENTILATION OPENING INCREASED ADJACENT LIFT.	NBR	RW		
D 08.09.08	AS BUILT ISSUE	NBR	RW		

Drawn	Checked	Rev	Date

Drawn	Checked	Drawing Status
		AS BUILT
		Job Title
		WAKEFIELD WATERFRONT PHASE 1A
		Drawing Title
		RESIDENTIAL BLOCK 20 - LEVEL 3
		FIRE STRATEGY
		Date
		24.04.07
		Scale
		1:200@A3
		Drawn
		NBR
		Checked
		RW

Job No.	Drawing No.	Rev
1864	AL20(68) 300	D
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- LOCATION OF FIRE BARRIERS. SEE DETAILS AA20(2)28, 31, 46, 47, 48, 49 AND AA20(2)20
- 60MIN FIRE RATED CONSTRUCTION
- 30MIN FIRE RATED CONSTRUCTION
- FD30S - 30MIN RATED FIRE DOOR WITH SELF CLOSER AND SMOKE SEAL.
- FD60S - 60MIN RATED PROPRIETARY PLASTERBOARD ACCESS PANEL WITH SMOKE SEAL. TO BE KEPT LOCKED.
- FD30 - 30MIN RATED HINGED ACCESS PANEL, TO BE KEPT LOCKED. NO SMOKE SEAL.
- FD30 - 30MIN RATED FIRE DOOR, NO SMOKE SEAL. THESE DOORS MAY NOT REQUIRE SELF CLOSERS, AS ADVISED IN THE NEW PART B OF THE BUILDING REGULATIONS. TO BE CONFIRMED BY BUILDING CONTROL.

FIRE DETECTION AND ALARM:

ALL APARTMENTS TO BE PROVIDED WITH A MAINS POWERED DETECTION / ALARM SYSTEM IN ACCORDANCE WITH BS5839: PART 6 TYPE LD3 CONSISTING OF SMOKE DETECTORS IN ALL CIRCULATION SPACES (INTER-LINKED WITHIN THE APARTMENT. THE OPERATION OF ONE DETECTOR WILL CAUSE ONLY DETECTORS WITHIN THAT APARTMENT TO GO INTO ALARM.

THE DUPLEX APARTMENTS ARE TO BE PROVIDED WITH A MAINS POWERED DETECTION / ALARM SYSTEM IN ACCORDANCE WITH BS5839: PART 6 TYPE LD1 CONSISTING OF SMOKE DETECTION IN ALL AREAS OF THE APARTMENT. THE DETECTORS SHOULD BE INTER-LINKED WITHIN THE APARTMENT AND THE OPERATION OF ONE DETECTOR WILL CAUSE ALL THE DETECTORS WITHIN THE DUPLEX TO GO INTO ALARM.

THE RESTAURANT/COMMERCIAL AREA AND UNDERCROFT CAR PARK WILL BE PROVIDED WITH A CATEGORY M SYSTEM IN ACCORDANCE WITH BS5839: PART 1. THERE WILL BE NO INTERCONNECTION BETWEEN THESE AREAS AND THE RESIDENTIAL HOWEVER THEY WILL BE LINKED TO EACH OTHER TO ALLOW FOR SIMULTANEOUS EVACUATION OF THESE AREAS.

FOR DETAILED LAYOUTS OF FIRE DETECTION AND ALARM EQUIPMENT REFER TO THE RELEVANT EDCM DRAWINGS.

EMERGENCY LIGHTING AND EXIT SIGNAGE:

EMERGENCY LIGHTING AND EXIT SIGNAGE WILL BE PROVIDED IN ALL ESCAPE ROUTES AND COMMON CIRCULATION AREAS IN ACCORDANCE WITH BS5266 PART 1: 1988 AND BS5499: PART 1 RESPECTIVELY.

FOR DETAILED LAYOUTS OF EMERGENCY LIGHTING AND EXIT SIGNAGE REFER TO THE RELEVANT EDCM DRAWINGS.

FOR MORE DETAILED INFORMATION REGARDING THE FIRE STRATEGY REFER TO ARUPFIRE'S FIRE SAFETY STRATEGY REPORT.

Rev	Date	Drawn	Checked	Rev	Date
A	24.04.07	NBR	RW		
B	16.08.07	NBR	RW		
C	14.09.07	NBR	RW		
D	01.10.07	NBR	RW		
	08.09.08	NBR	RW		

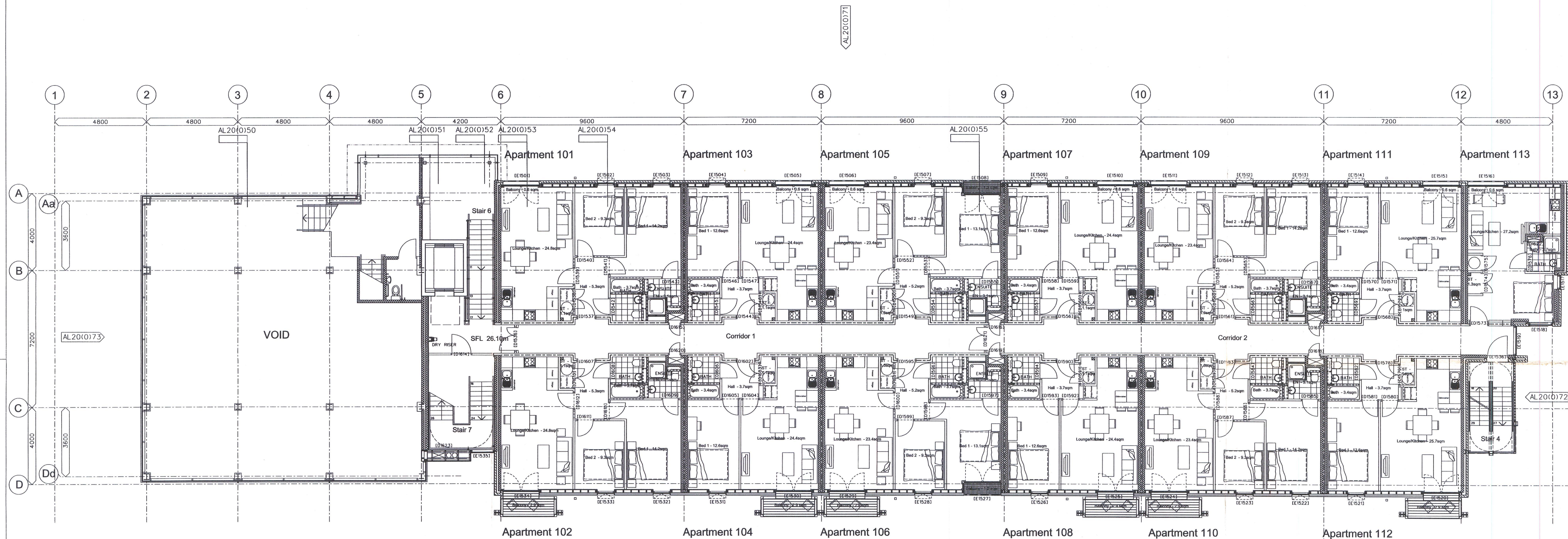
Rev	Date	Drawn	Checked	Rev	Date

Rev	Date	Drawn	Checked	Rev	Date

Rev	Date	Drawn	Checked	Rev	Date

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Job No.	Drawing No.	Rev
1864	AL20(68) 400	D
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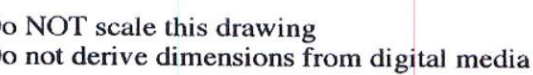


NOTE:

1. FOR GENERAL PARTITION SPECIFICATION AND SETTING OUT SEE AL20(2) SERIES DRAWINGS.

2. FOR FINISHES SEE AL20(4) SERIES DRAWINGS.

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Rev	Date			Drawn	Checked	Rev	Date			Drawn	Checked	Rev	Date			Drawn	Checked	Drawing Status		Job No.	Drawing No.	Rev
A	02.09.05	ISSUED FOR PLANNING				D	13.06.06	MAIN AL SECTION REFERENCES CORRECTED TO (0) NOT (1) GUTTERS ADDED AT RESTAURANT		AB	RW	J	01.11.07	DRY RISER TO GRID LINE 5 ADDED		AB	RW	AS BUILT		1864	AL20(0) 150	L
A	01.11.05	GLAZING TO EAST ELEVATION OF STUDIOS ADDED		RW	BS		16.06.06	REV D - ISSUED FOR TENDER				K	18.02.08	DRY RISER LOCATION REVISED, CHANGED TO EXPOSED VALVE								
B	20.03.06	DOOR NIBS INCLUDED, UPDATE OF SANITARYWARE, KITCHEN RECONFIGURED, BALCONY LAYOUT / LAYOUT UPDATED, HOME OFFICE LAYOUT CONSIDERED, WASHER DRYER / WATER TANK CONFIGURATION CHANGED, EXTERNAL ESCAPE STAIR LAYOUT CHANGED				E	19.01.07	GENERAL NOTE ADDED, NOTES 8 & 9 ONLY RELEVANT TO LEVEL 4 OMITTED.		NBr	RW		08.09.08	AS BUILT ISSUE				Job Title		© Drawing and Design copyright of * Faulkner Browns Architects		
	—			AB	RW	F	21.05.07	RWP POSITION AMENDED, PLASTERBOARD ADDED TO HIDE STEELWORK. BRICKWORK UPDATED TO SUIT INCREASED CAVITY SIZE.		NE	RW		—					WAKEFIELD WATERFRONT PHASE 1A				
	20.03.06	REV B-ISSUED FOR COSTING				G	11.06.07	OPENINGS AND VELFAC DOUBLE DOOR SIZES REVISED.		NBr	RW		—					Drawing Title				
C	05.06.06	BATHROOMS UPDATED, KITCHENS UPDATED, CURTAIN WALL ADDED IN RESTAURANT, STAIRS UPDATED, SECTION AND DETAIL REFERENCES ADDED.		KB	RW	H	04.07.07	DOOR SWINGS AND LOCATIONS UPDATED TO MAIN STAIR AND ESCAPE STAIR.		NBr	RW		—					RESIDENTIAL BLOCK 20 - LEVEL 1A				
	07.06.06	ISSUED FOR TENDER				I	04.10.07	BLOCKWORK ON STAIRS REDUCED TO 100mm		JD	NBr		—					Date		Scale	Drawn	Checked
																		16.06.06		1:1000A1	AB	RW



AL_20 (0) 100K.dgn 08/09/2008 12:19:03

Architectural floor plan showing a car park and building layout. The plan includes dimensions, elevations, and specific room labels.

Car Park Details:

- LOWER CAR PARK:** SFL 21.80 m
- UPPER CAR PARK:** SFL 22.60M (-800MM ON EXTERNAL ENTRY LEVEL)
- TOTAL CAR PARKING SPACES - 49 SPACES**
- DISABLED PARKING BAY:** Located near the center of the upper car park.
- PARKING MARKINGS:** Indicated throughout the car park areas.

Building Details:

- RESTAURANT UNSEX WC BY OTHERS:** 29.4 SQM 0101
- RESTAURANT STORE:** 6.4 SQM 0105
- CLEANERS CLOSET:** 4.35M 0103
- LOBBY:** 0104
- RECEIPT DESK:** 0106
- RECEIPT DESK:** 0107
- RECEIPT DESK:** 0108
- RECEIPT DESK:** 0109
- RECEIPT DESK:** 0110
- RECEIPT DESK:** 0111
- RECEIPT DESK:** 0112
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- RECEIPT DESK:** 0198
- RECEIPT DESK:** 0199
- RECEIPT DESK:** 0200

Notes:

- NOTE: HOLE IN SLAB REQUIRED FOR REUSE SHOOT, REFER TO STRUCTURAL ENGINEERS DRAWINGS
- RESIDENTS BINS - 0.25 CUBIC METRES PER WEEK, 125 CUBIC METRES PER BIN, 12 BINS REQUIRED (3 RECYCLE)
- SPACE FOR RESTAURANT WALL MOUNTED CHILLERS FOR TENANT
- RESTAURANT BINS - 5 CUBIC METRES COLLECTION TO BE ARRANGED AS REQUIRED
- FOR BIN STORE EXTRACTS REFER TO M & E SPECIALIST DETAILS

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Rev				Drawn		Checked		Rev				Date		Drawn		Checked		Rev				Date		Drawn		Checked		Drawing Status		Job No.		Drawing No.		Rev																							
D				AB		RW		D				13.06.06		AB		RW		L				08.09.08		AB		RW		AS BUILT ISSUE		1864		AL20(0) 010		L																							
02.09.05				ISSUED FOR PLANNING				13.06.06				MAIN AL SECTION REFERENCES CORRECTED TO (O) NOT (I)				13.06.06				REV D - ISSUED FOR TENDER				08.09.08				AS BUILT ISSUE				AS BUILT				1864		AL20(0) 010		L																	
A 01.11.05				WEST PLINTH WALL MOVED, WATERBOOSTER ROOM OMITTED, WC CONFIGURATION AMENDED				16.06.06				E 19.01.07				MINOR UPDATES TO TEXT, GRIDS ONLY RELEVANT TO LEVEL 4. OMITTED, RWP's ADDED.				NBr				RW																																	
B 20.03.06				TOILET RECONFIGURED, SIDE LOUVRE TO LOWER PARKING AREA REMOVED (NATURALLY VENTED FROM PLINTH)				—				F 21.05.07				STAIR 3, & RWP POSITION REVISED.				NBr				RW																																	
—								—				—				LOCAL FLOOD CONTROL UNIT FOR CLUSTER A ADDED TO GRID 2-A.				NBr				RW																																	
20.03.06				REV B-ISSUED FOR COSTING				—				—				BRICKWORK UPDATED TO SUIT INCREASED CAVITY SIZE.				NBr				RW																																	
C 05.06.06				WALL BUILD UPS INDICATED ON DRAWING, STAIRS UPDATED, NOTES REVISED IN ACCORDANCE WITH CHANGES, INSULATION BELOW GROUND SLAB AND TO EXTERNAL WALL ADDED				KBr				G 04.07.07				EXTERNAL UPGRADE DOOR SWING UPDATED.				NBr				RW																																	
—				ISSUED FOR TENDER				—				H 03.10.07				BLOCKWORK AROUND GRID LINE 4 UPDATED				NBr				RW																																	
07.06.06								—				J 19.10.07				BLOCK WALL ADDED ON GL 6				NBr				JD																																	
—								—				K 02.04.08				BLOCK WALL ADDED IN METER ROOM				NBr				JD																																	

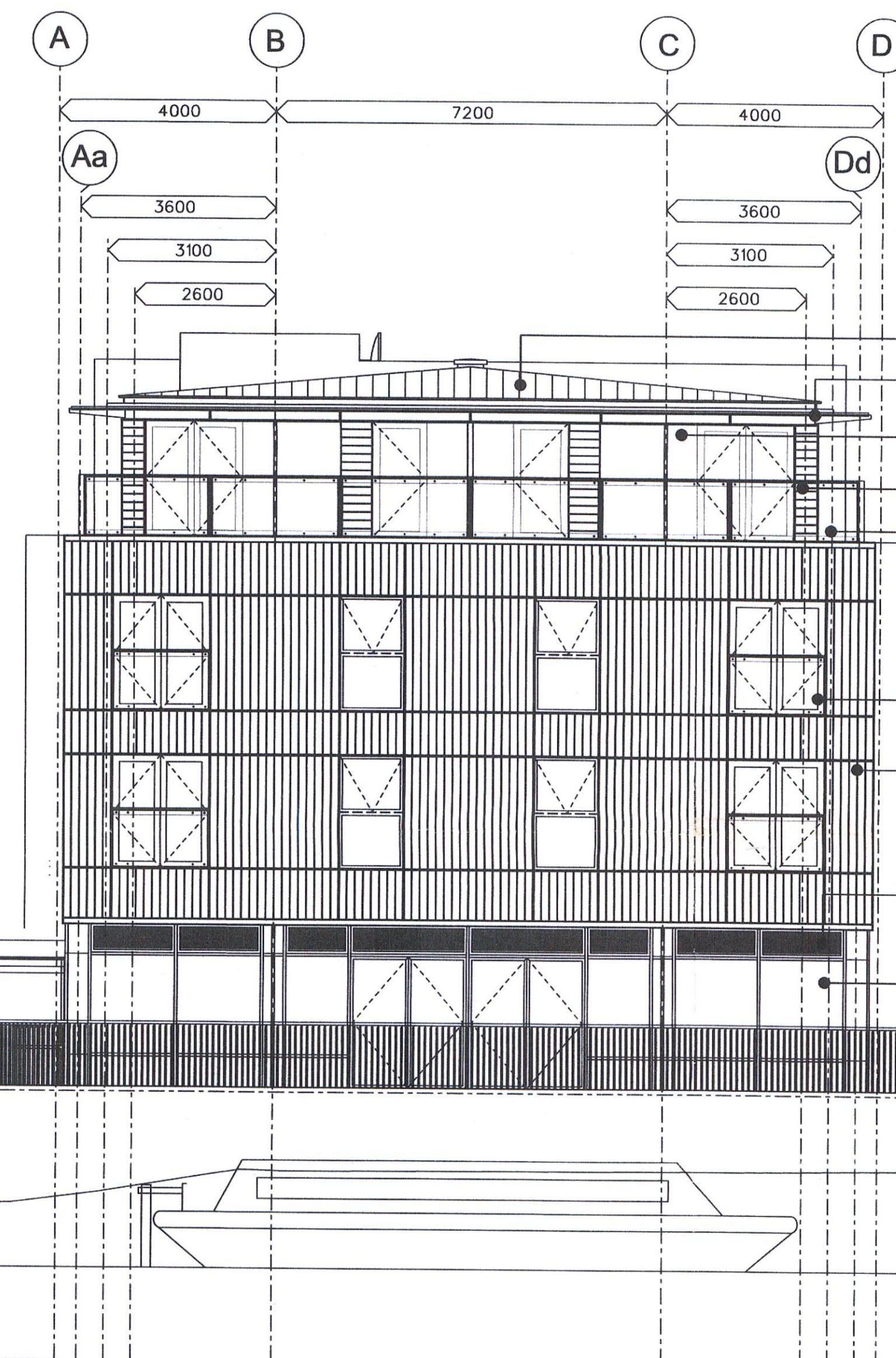
WEST ELEVATION

DATUM 20.0M

FLOOD LEVEL 24.9M

RESIDENTIAL AND RESTAURANT ENTRANCE

ASHLAR FACED FLOOD DEFENCE AND RESTAURANT TERRACE



- KALZIP 305 STANDING SEAM ROOF
- BRISE SOLEIL SUNSHADING
- LIGHT GREY RENDER
- TIMBER RAINSCREEN CLADDING
- WIRE BALUSTRADE SYSTEM
- GLASS BALUSTRADE
- TIMBER RAINSCREEN CLADDING
- CURTAIN WALLING SYSTEM WITH INTEGRATED VENTILATION LOUVER
- CURTAIN WALLING SYSTEM WITH SOLAR CONTROL GLASS

Rev				Rev				Rev				Rev			
Date	Drawn	Checked		Date	Drawn	Checked		Date	Drawn	Checked		Date	Drawn	Checked	
02.09.05			ISSUED FOR PLANNING	16.06.06	ESJ	RW		16.06.06	ESJ	RW		16.06.06	ESJ	RW	
A 01.11.05		RW	BALLUSTRADE AMMENDED, ENTRANCE CANOPY (BEYOND) INDICATED, PLINTH PROFILE AMMENDED.	D 10.07.06	WTC	RW		D 10.07.06	WTC	RW		16.06.06	ESJ	RW	
		BS			DP	RW			DP	RW		16.06.06	ESJ	RW	
01.11.05		RW	REV A - ISSUED FOR PLANNING	E 24.01.07				E 24.01.07				16.06.06	ESJ	RW	
B 07.06.06			DOOR AND WINDOW FRAMES AMMENDED, BALCONIES UPDATED, TIMBER CLADDING AMMENDED, EXTERNAL BALLUSTRADES AMMENDED, ROOF LINE AMMENDED, CURTAIN WALLING AND VENTILATION TO RESTAURANT AMMENDED.									16.06.06	ESJ	RW	
		ESJ		F 07.05.07	NE	RW		F 07.05.07	NE	RW		16.06.06	ESJ	RW	
07.06.06		RW	REV B - ISSUED FOR TENDER	G 11.06.07	NBR	RW		G 11.06.07	NBR	RW		16.06.06	ESJ	RW	
C 15.06.06		ESJ	ROOF LINE AMMENDED.	H 08.09.08	NBR	RW		H 08.09.08	NBR	RW		16.06.06	ESJ	RW	
		RW	DOORS IN RESTAURANT CURTAIN WALLING ALTERED.									16.06.06	ESJ	RW	
												16.06.06	ESJ	RW	

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AS BUILT

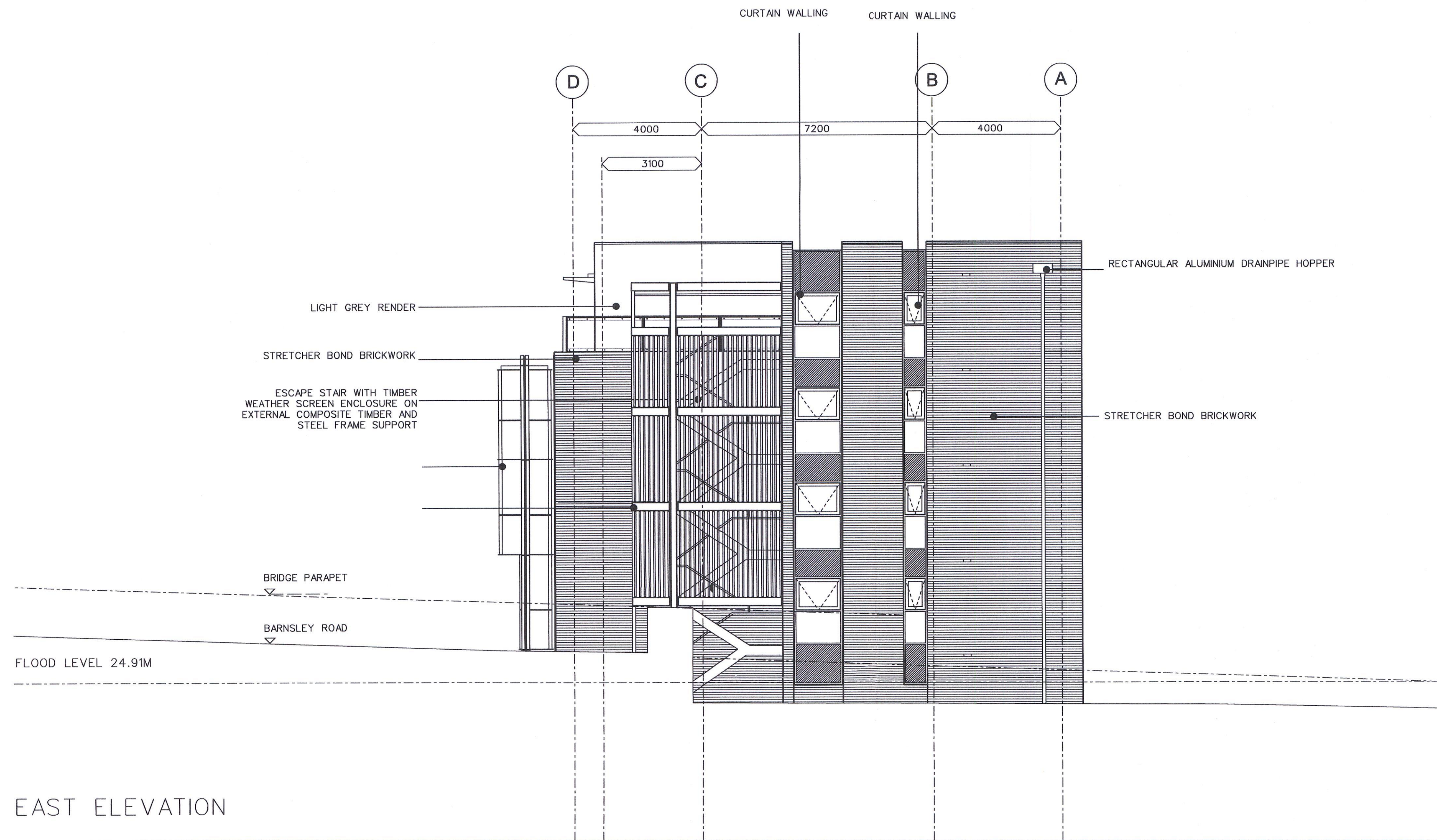
Job No. 1864 Drawing No. AL20(0) 73

Job Title WAKEFIELD WATERFRONT PHASE 1A

Drawing Title RESIDENTIAL BLOCK 20 WEST ELEVATION

Date 16.06.06 Scale 1:1000A1 Drawn ESJ Checked RW

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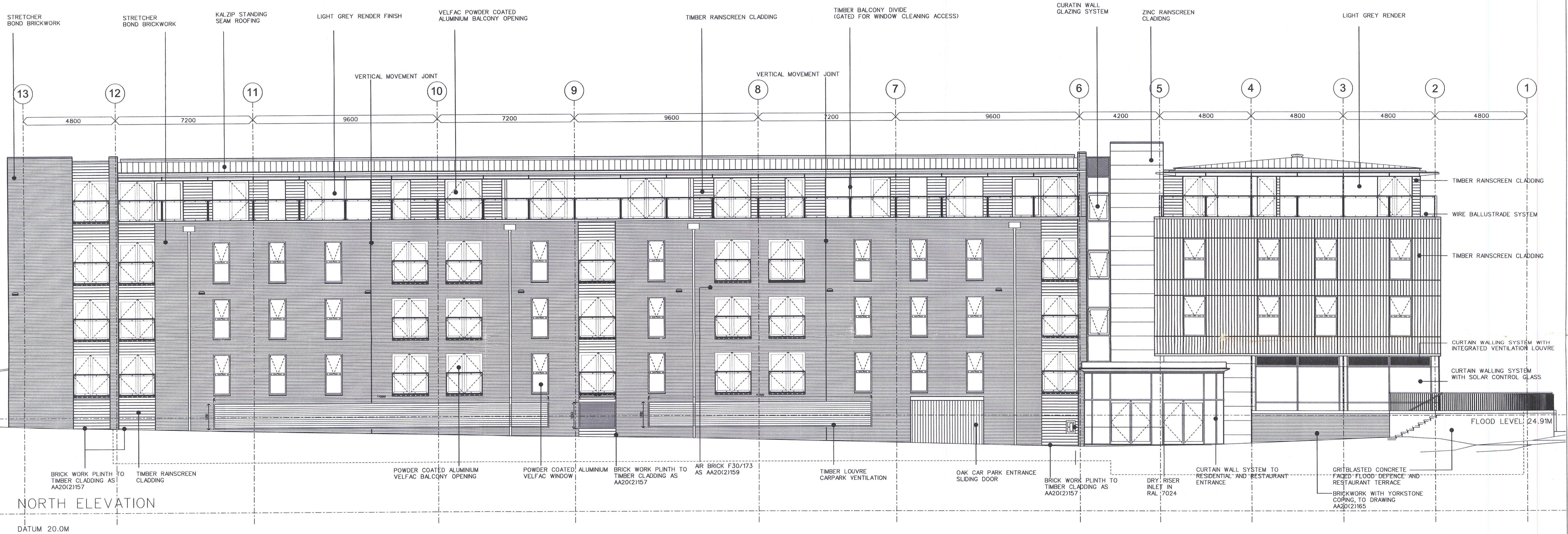


EAST ELEVATION

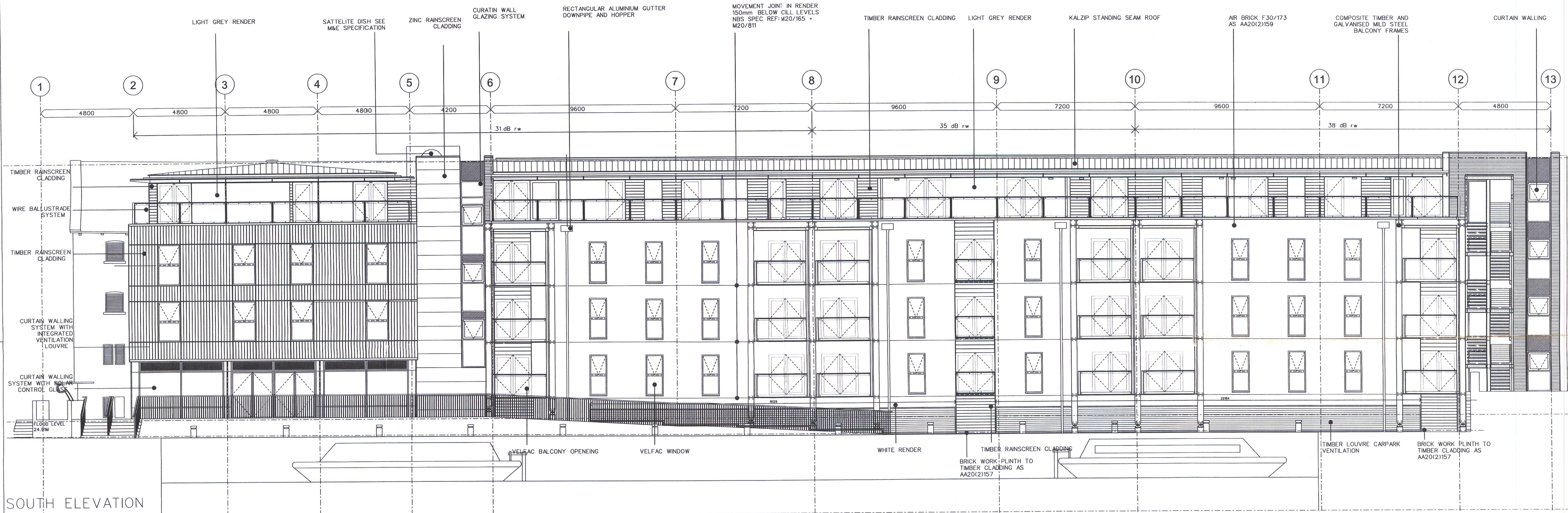
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Rev				Rev				Rev				Rev			
Date	Drawn	Checked		Date	Drawn	Checked		Date	Drawn	Checked		Date	Drawn	Checked	
02.09.05			ISSUED FOR PLANNING	19.01.07	E		DETAIL REFERENCE OMITTED FROM BASE OF CURTAIN WALLING.								
A 01.11.05	RW	BS	GLAZING "SLOT" ADDED, SCREEN TO STAIR ADDED, RAINWATER PIPES INDICATED.	26.01.07			REV E - ISSUED FOR CONSTRUCTION								
01.11.05			REV A - ISSUED FOR PLANNING	F 07.05.07	NE	RW	GRIDS ADDED, CURTAIN WALLING UPDATED.								
B 07.06.06	ESJ	RW	DOOR AND WINDOW FRAMES AMENDED, BALCONIES UPDATED, TIMBER CLADDING AMENDED, CURTAIN WALLING AMENDED, ROOF LINE AMENDED, EXTERNAL ESCAPE STAIR AMENDED, RAINWATER PIPES AMENDED.	G 13.06.07	NE	RW	WIRE BALUSTRADING OMITTED AND REPLACED WITH GLASS BALUSTRADE.								
—				H 08.09.08	NBr	RW	MOVEMENT JOINTS ADDED								
							AS BUILT ISSUE								
07.06.06	ESJ	RW	REV B - ISSUED FOR TENDER	—	—										
C 15.06.06	ESJ	RW	LEVEL FOUR LOUVRE AMENDED.	—	—										
16.06.06	ESJ	RW	REV C - ISSUED FOR TENDER	—	—										
D 10.07.06	WTC	RW	NBS TEXT EDIT	—	—										
10.07.06	WTC	RW	REV D - ISSUED FOR PLANNING	—	—										

Drawing Status				AS BUILT				Job No.	1864	Drawing No.	AL20(0) 72	Rev	H
Job Title				WAKEFIELD WATERFRONT PHASE 1A				© Drawing and design copyright of: * FaulknerBrowns <i>Architects</i> Dobson House Northumbrian Way Killingworth Newcastle upon Tyne NE12 6QW Telephone 0191 268 3007 Fax 0191 268 3227					
Drawing Title				RESIDENTIAL BLOCK 20 EAST ELEVATION									
Date	16.06.06	Scale	1:100@A1	Drawn	ESJ	Checked	RW						



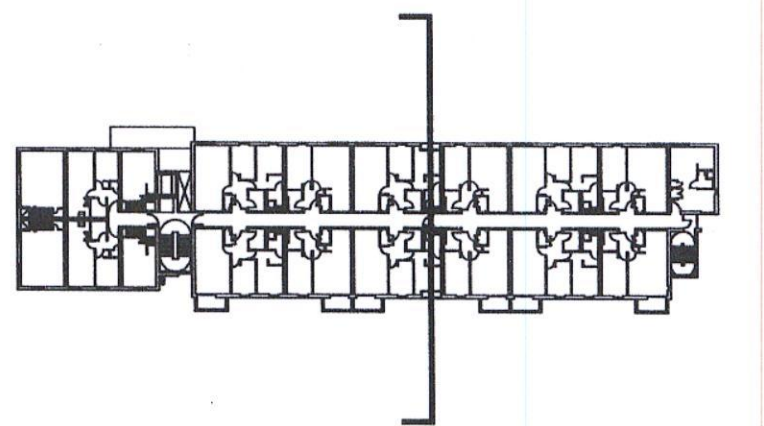
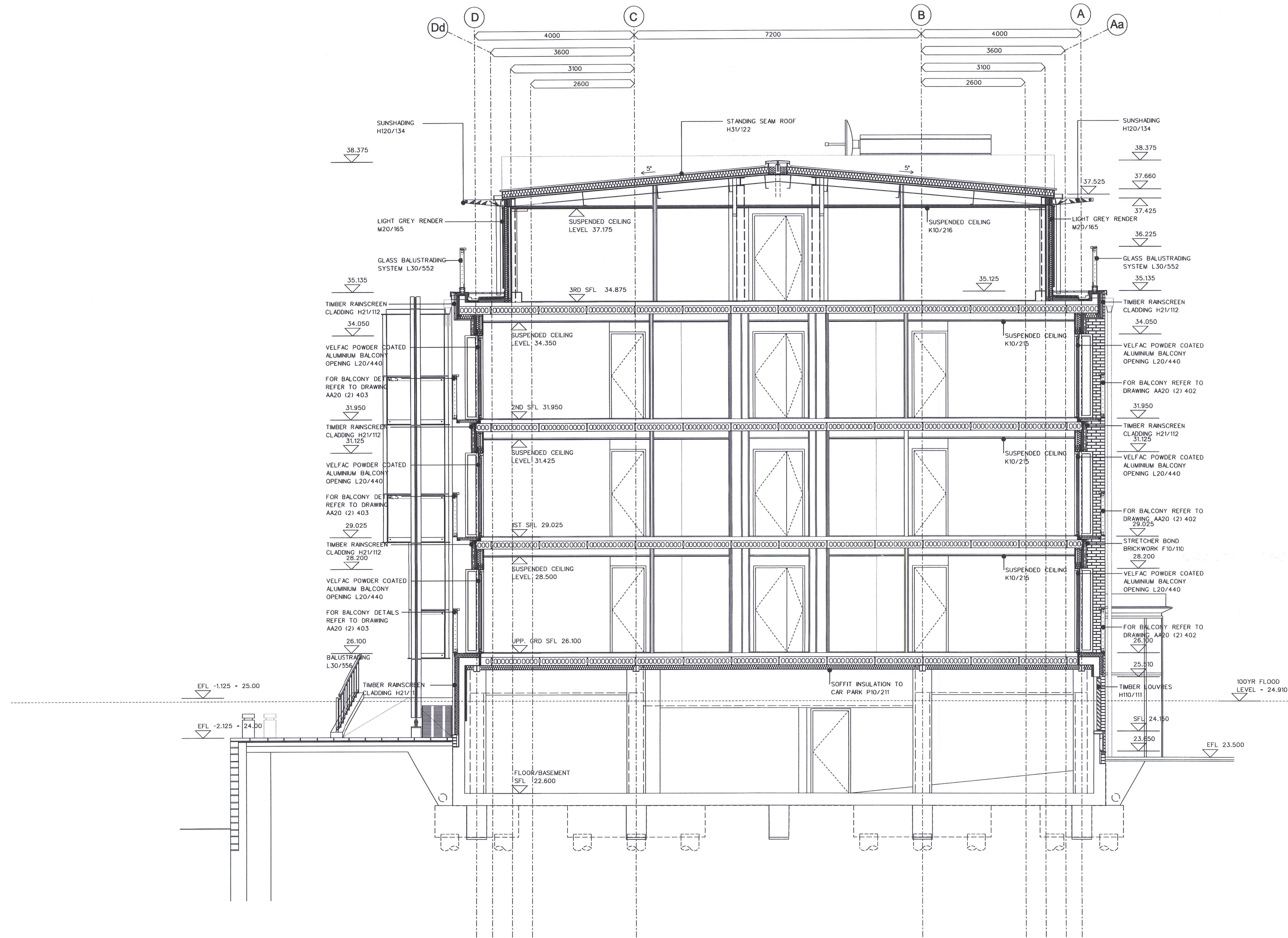
Rev				Rev				Rev				Rev				Rev			
Date	Drawn	Checked		Date	Drawn	Checked		Date	Drawn	Checked		Date	Drawn	Checked		Date	Drawn	Checked	
02.09.05			ISSUED FOR PLANNING	15.06.06			ROOF AND FOURTH FLOOR VENTS AMENDED. DOORS TO MAIN ENTRANCE ALTERED.	12.10.07			DRY RISER INLET ADDED.	16.06.06			AS BUILT	1864	AL20(0) 71		
01.11.05			CAR PARK ENTRANCE DOOR INDICATED, RAINWATER PIPES ADDED, ENTRANCE CANOPY AND DETAIL REVISED.	10.07.06			REV C- ISSUED FOR TENDER	22.05.07			EXTERNAL FINISHES BETWEEN GL 2 AND GL 5 UPDATED. WALL LIGHTING AND EXTRACT/TRICKLE VENTS ADDED. TIMBER LOUVRES UPDATED.	10.07.06							
01.11.05			REV A - ISSUED FOR PLANNING	26.01.07			REV E- ISSUED FOR CONSTRUCTION	08.09.08			AS BUILT ISSUE	10.07.06							
07.06.06			DOOR AND WINDOW FRAMES AMENDED, BALCONIES UPDATED, TIMBER CLADDING AMENDED, EXTERNAL BALUSTRADES AMENDED, CURTAIN WALLING AMENDED, ROOF LINE AND PARAPETS AMENDED, CURTAIN WALLING AND VENTILATION TO RESTAURANT AMENDED, RAINWATER PIPES AMENDED, ROOF LINE AMENDED, VENTILATION AND ENTRANCE DOOR TO CAR PARK AMENDED.	26.05.07			EXTERNAL FLOOR LEVELS UPDATED TO SUIT REVISED LANDSCAPE ARCHITECT'S DRAWING. LOUVRES LIFTED 150mm TO AVOID CLASH WITH NEW EXTERNAL LEVELS. GRIDS ADDED. CURTAIN WALLING UPDATED. WIRE BALUSTRADE OMITTED AND REPLACED WITH GLASS BALUSTRADE. ENTRANCE STAIRS AMENDED. OPENINGS AND VELFAC DOUBLE DOOR SIZES REVISED.					11.06.07							
07.06.06			REV B- ISSUED FOR TENDER	13.06.07			MOVEMENT JOINTS ADDED					13.06.07							



SOUTH ELEVATION

DATUM 20.0M

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Rev	Date	Drawn	Checked
16.06.06	ISSUED FOR TENDER	AS	RW
A 19.01.07	NBS REFS ADDED	NE	RW
26.01.07	REVISION A - ISSUED FOR CONSTRUCTION		
B 08.09.08	AS BUILT ISSUE	NBr	Rw

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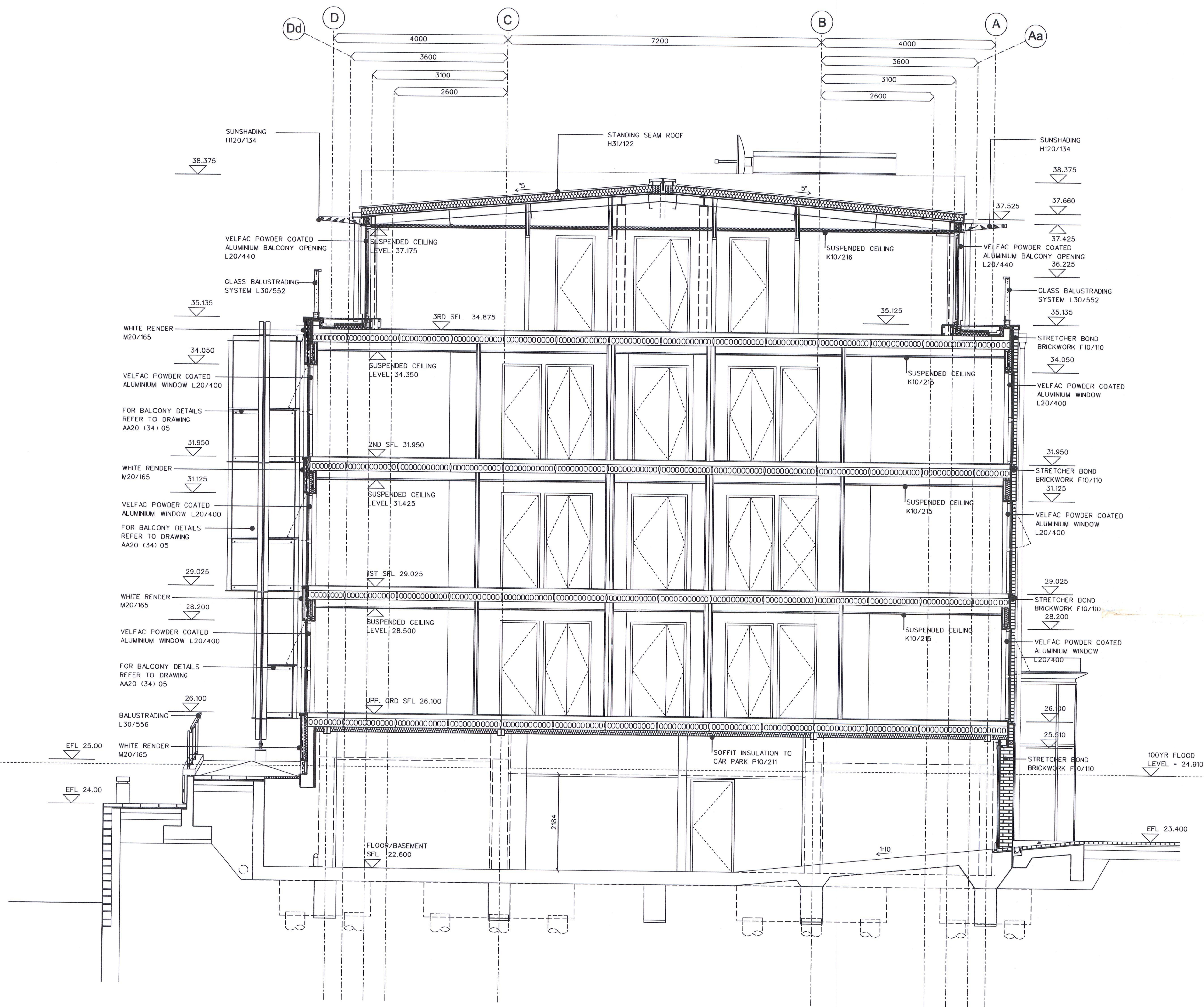
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Job No.	1864	Drawing No.	AL 20 (0) 55	Rev	B
Drawing Title	RESIDENTIAL BLOCK 20-SECTION F-F				
Date	16.06.06	Scale	1:50@A1	Drawn	AS
				Checked	RW

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Dobson House
Northumbrian Way
Killingworth
Newcastle upon Tyne
NE12 6QW
Telephone 0191 268 3007
Fax 0191 268 5227



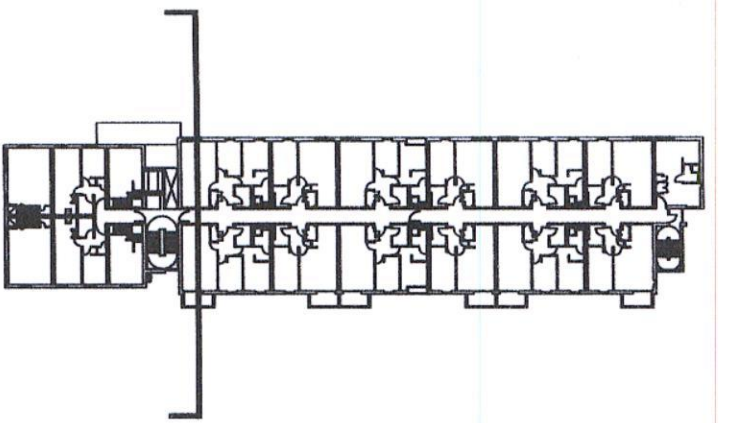
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A 19.01.07	NBS REFS ADDED	NE	RW
26.01.07	REVISION A - ISSUED FOR CONSTRUCTION	NE	RW
B 08.09.08	AS BUILT ISSUE	NBr	RW

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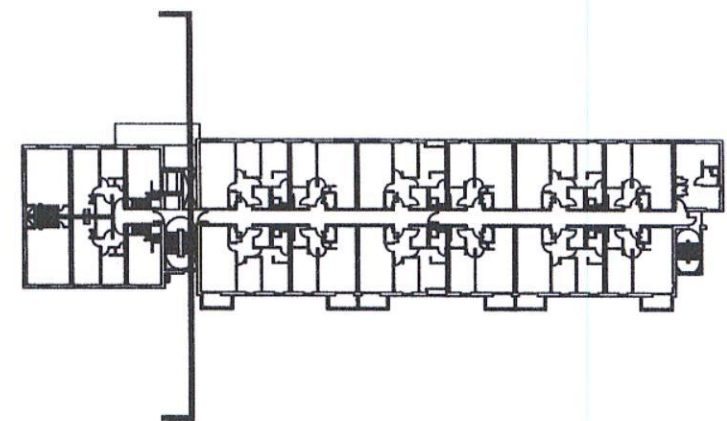
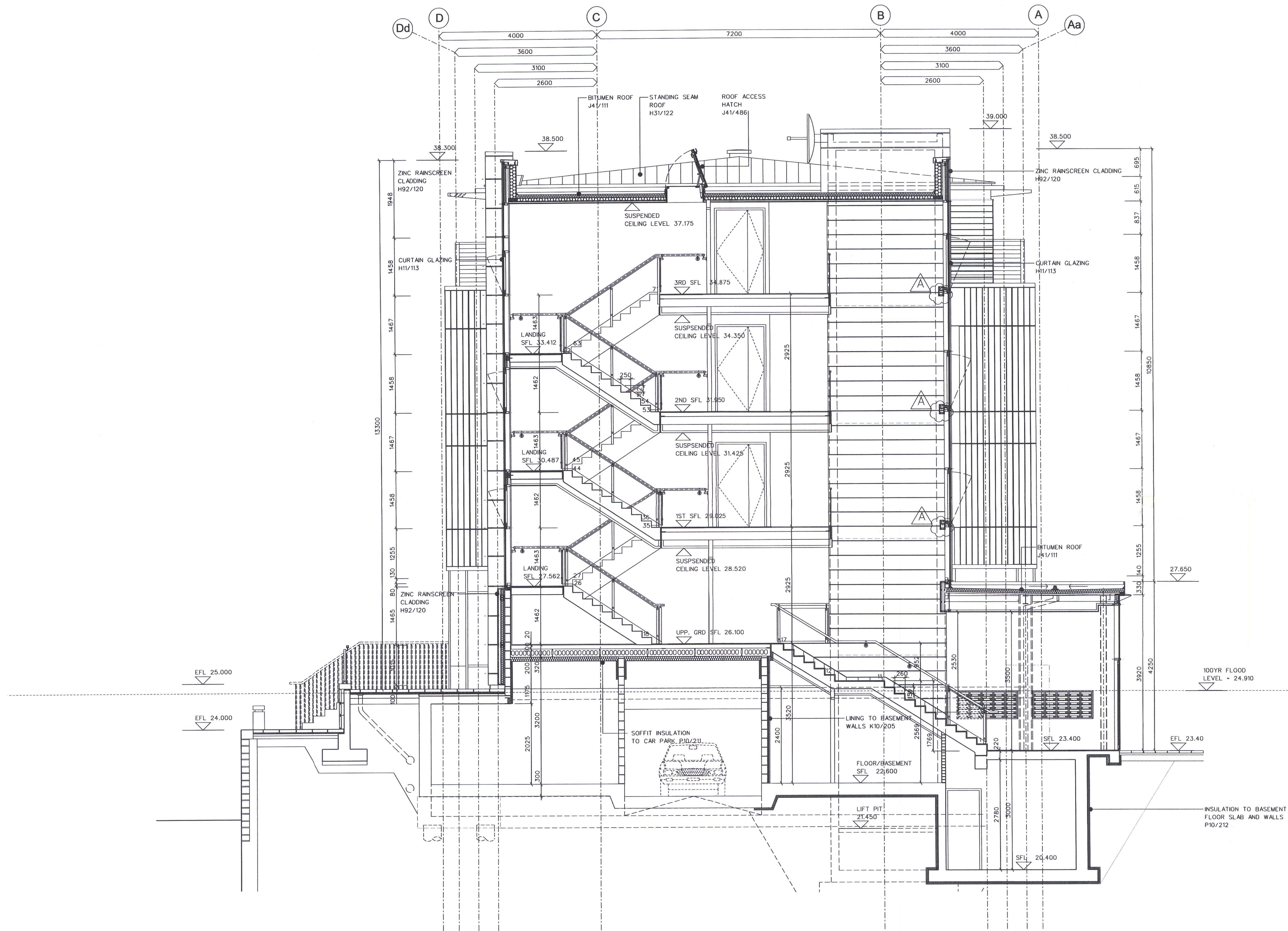
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Job No.	Drawing No.	Rev
1864	AL 20 (0) 54	B
Job Title	Drawing Title	Date
WAKEFIELD WATERFRONT PHASE 1A	RESIDENTIAL BLOCK 20-SECTION E-E	16.06.06
Scale	Drawn	Checked
1:50 @ A1	AS	RW
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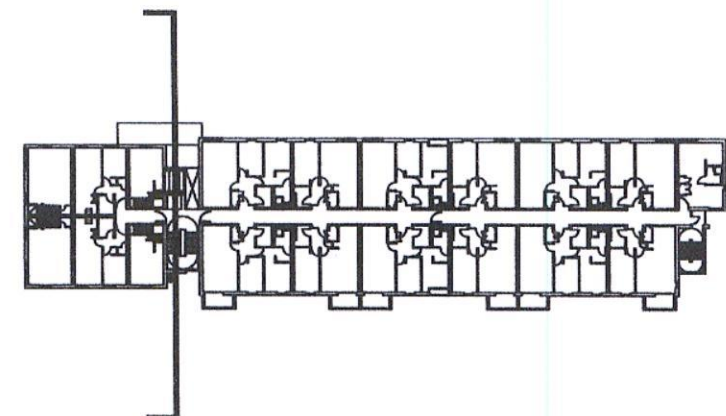
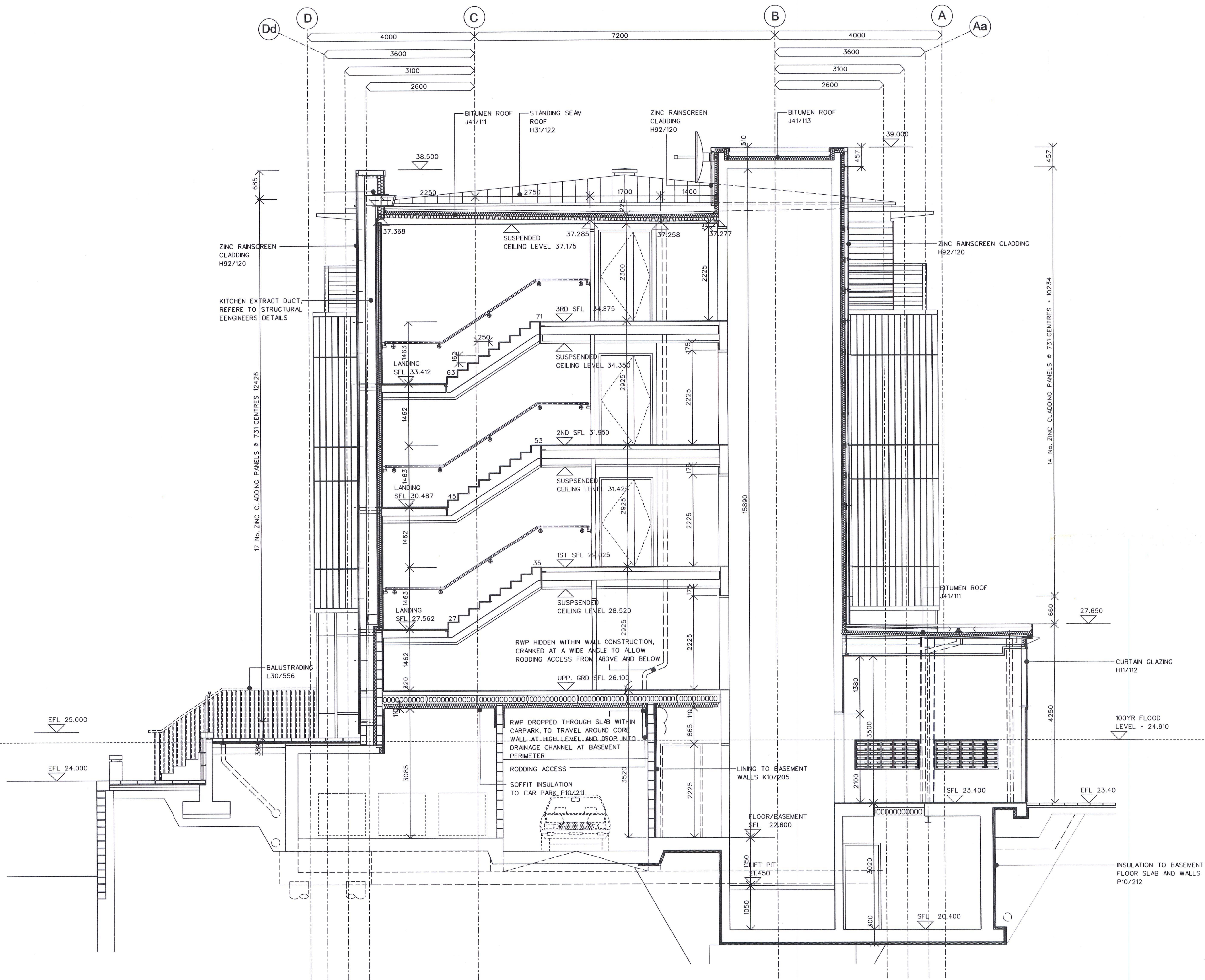


Rev	Date	Drawn	Checked	Rev	Date
16.06.06		AS	RW		
A	19.01.07	NE	RW		
26.01.07					
B	08.09.08	NBr	RW		

Drawn	Checked	Rev	Date

Drawn	Checked	Rev	Date

Job No.	Drawing No.	Rev
1864	AL 20 (0) 52	B
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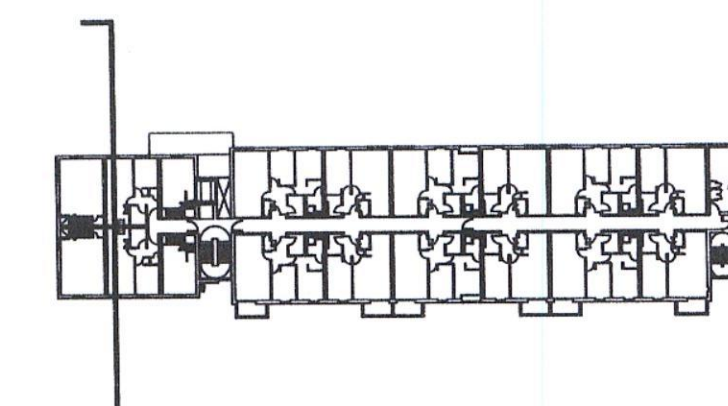
Rev	Date	Drawn	Checked	Rev	Date
16.06.06	ISSUED FOR TENDER	AS	RW		
A 19.01.07	NBS REFS ADDED	NE	RW		
26.01.07	REVISION A - ISSUED FOR CONSTRUCTION				
B 09.05.07	LIFT DIMS AMENDED, FALLS TO FLAT ROOF & LEVELS, INT RWP & NOTES ADDED	NE	RW		
C 08.09.08	AS BUILT ISSUE	NB	RW		

Rev	Date	Drawn	Checked	Rev	Date

Rev	Date	Drawn	Checked	Rev	Date

Rev	Date	Drawn	Checked	Rev	Date

Do NOT scale this drawing
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Job No.	Drawing No.	Rev
1864	AL 20 (0) 50	B
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